



CALEXICO HIGH SCHOOL 9TH GRADE CAMPUS

824 Blair Avenue, Calexico, CA 92231

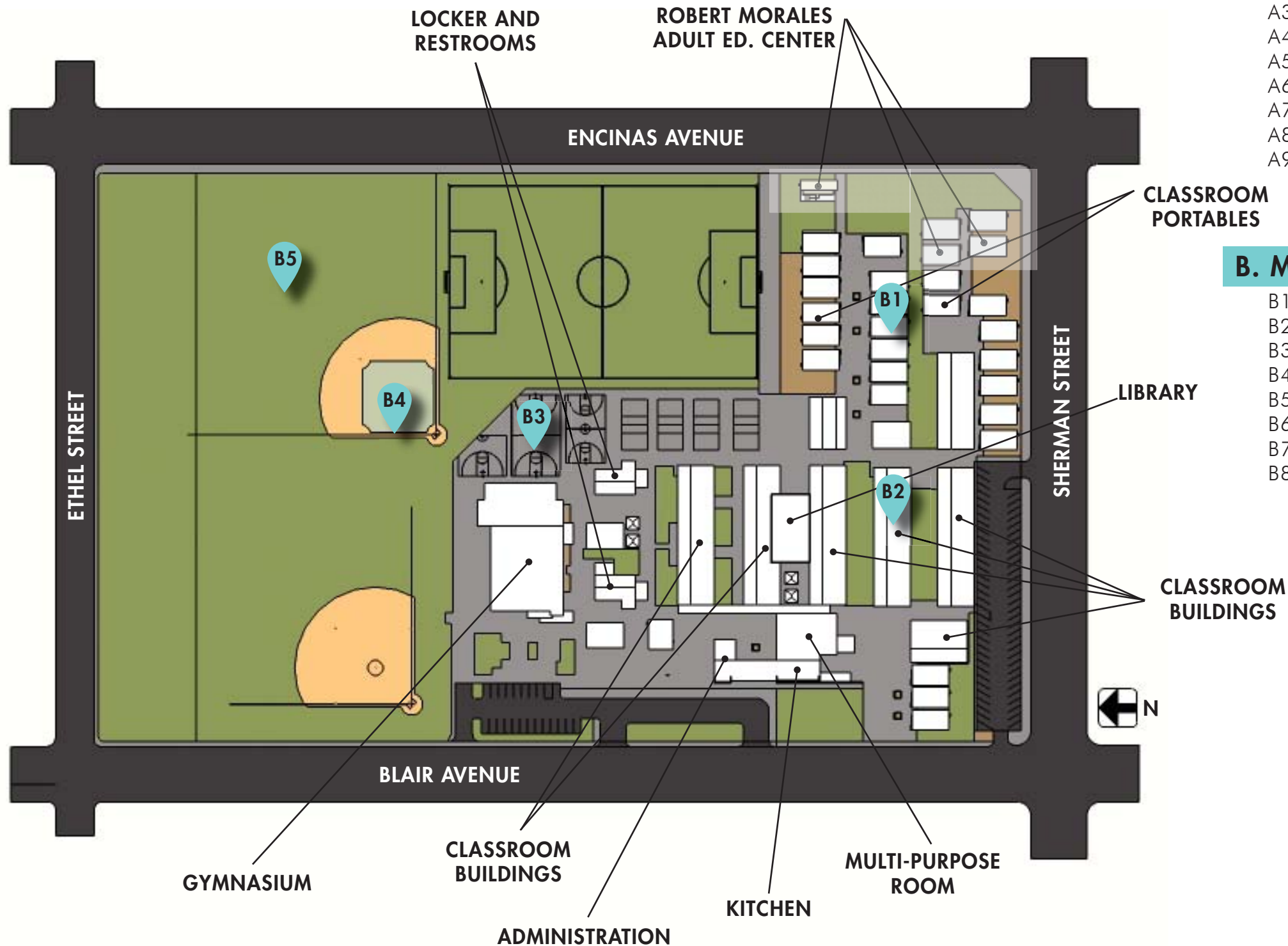


CALEXICO HIGH
9th Grade Campus

CALEXICO HIGH SCHOOL 9TH GRADE CAMPUS

824 Blair Avenue, Calexico, CA 92231

EXISTING SITE CONDITIONS



A. HEALTH, SAFETY, AND ACCESS

- A1 Concrete walkways are pitted and uneven
- A2 Chainlink gates need accessible hardware
- A3 Asphalt paving deteriorated
- A4 Path of travel not Title 24 compliant
- A5 Site is not title 24 compliant
- A6 Not enough shade structures and trees
- A7 Chainlink fencing damaged
- A8 Existing shade structure fabric deteriorated
- A9 Empty tree wells

B. MAINTENANCE & OPERATIONS

- B1 Too many portables
- B2 Roofs are deteriorating
- B3 Basketball and volleyball nets deteriorated
- B4 Baseball backstops need replacing
- B5 Soil eroding in fields
- B6 Paint peeling and cracking
- B7 Signage peeling and faded and damaged
- B8 Gravel infill

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EXISTING SITE CONDITIONS

A. HEALTH, SAFETY, AND ACCESS



A1 Concrete walkways are pitted and uneven

Concrete walkways and courts are pitted, chipped, and cracked. Some areas have heaved or settled along the paths of travel.

Solution: Repair or replace concrete as needed.



A4 Path of travel

Path of travel does not meet Title 24 requirements.

Solution: Provide Title 24 compliant concrete walks and ramps as needed.



A2 Gate Hardware

Chainlink exit gates do not have accessible exit hardware

Solution: Replace gates and provide Title 24 compliant hardware.



A7 Perimeter fencing

Chainlink fencing damaged in various locations.

Solution: Replace fencing as required to secure campus.



A3 Asphalt paving

Asphalt paving is deteriorating from exposure to the harsh elements causing tripping hazards and is not Title 24 compliant for smooth path of travel surface.

Solution: Replace asphalt paving and re-stripe parking spaces.



A8 Shade structure fabric

Shade structure fabric has deteriorated in the harsh elements.

Solution: Provide metal roofs for existing structures.

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EXISTING SITE CONDITIONS

B. MAINTENANCE & OPERATIONS



B1 Too many portables

Campus has too many portables and many are deteriorating.

Solution: Replace portables with new permanent classroom building(s).



B2 Roofs are deteriorating

The roof penetration failures and roof damage is prolific. The majority of the failures on this school were found to be the result of poor details, design and drainage. Pigeon dropping are prolific on the gym roof and due to corrosive nature is weakening the roof system

Solution: Provide new roofs at permanent buildings.



Basketball and Volleyball Nets

Basketball and volleyball nets have deteriorated in the elements.

Solution: Provide new nets



B4 Baseball Backstops

Backstops are rusted, worn and deteriorated.

Solution: Provide new backstops.



B5 Soil Erosion

Soil has eroded and left concrete footings exposed.

Solution: Import clean soil, regrade field and reseed lawns.



B8 Gravel Infill

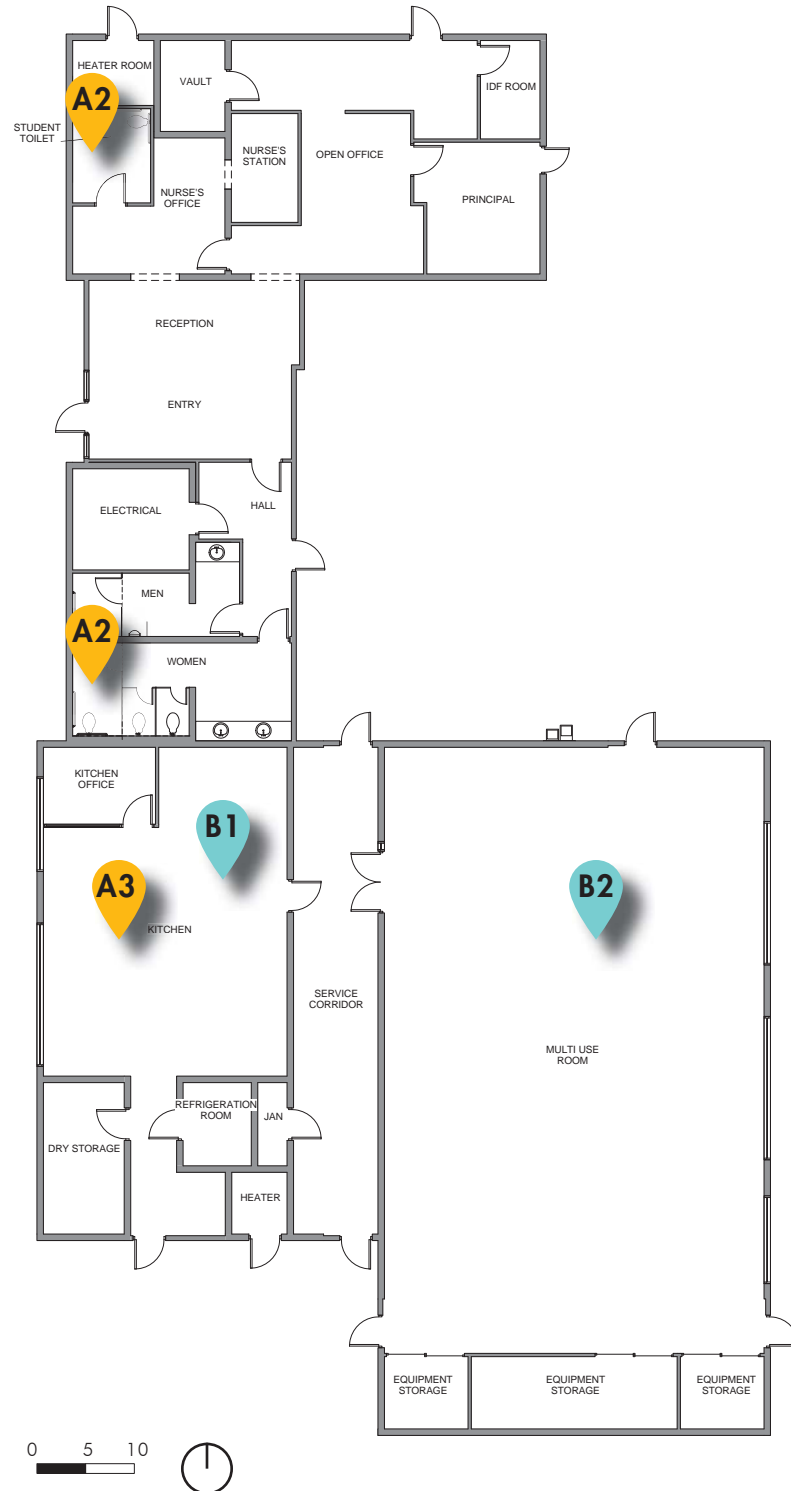
Several buildings were removed and the open area was filled with gravel. Gravel is causing a mess in the surrounding surfaces.

Solution: Remove gravel and fill with concrete.

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EXISTING FLOOR PLAN: MULTI-PURPOSE ROOM AND ADMINISTRATION



A. HEALTH, SAFETY, AND ACCESS

- A1 Wiring on walls is not protected and hanging
- A2 Accessible Toilet accessories not Title 24 compliant
- A3 Kitchen sink does not meet current Title 24 requirements
- A4 Security system issues

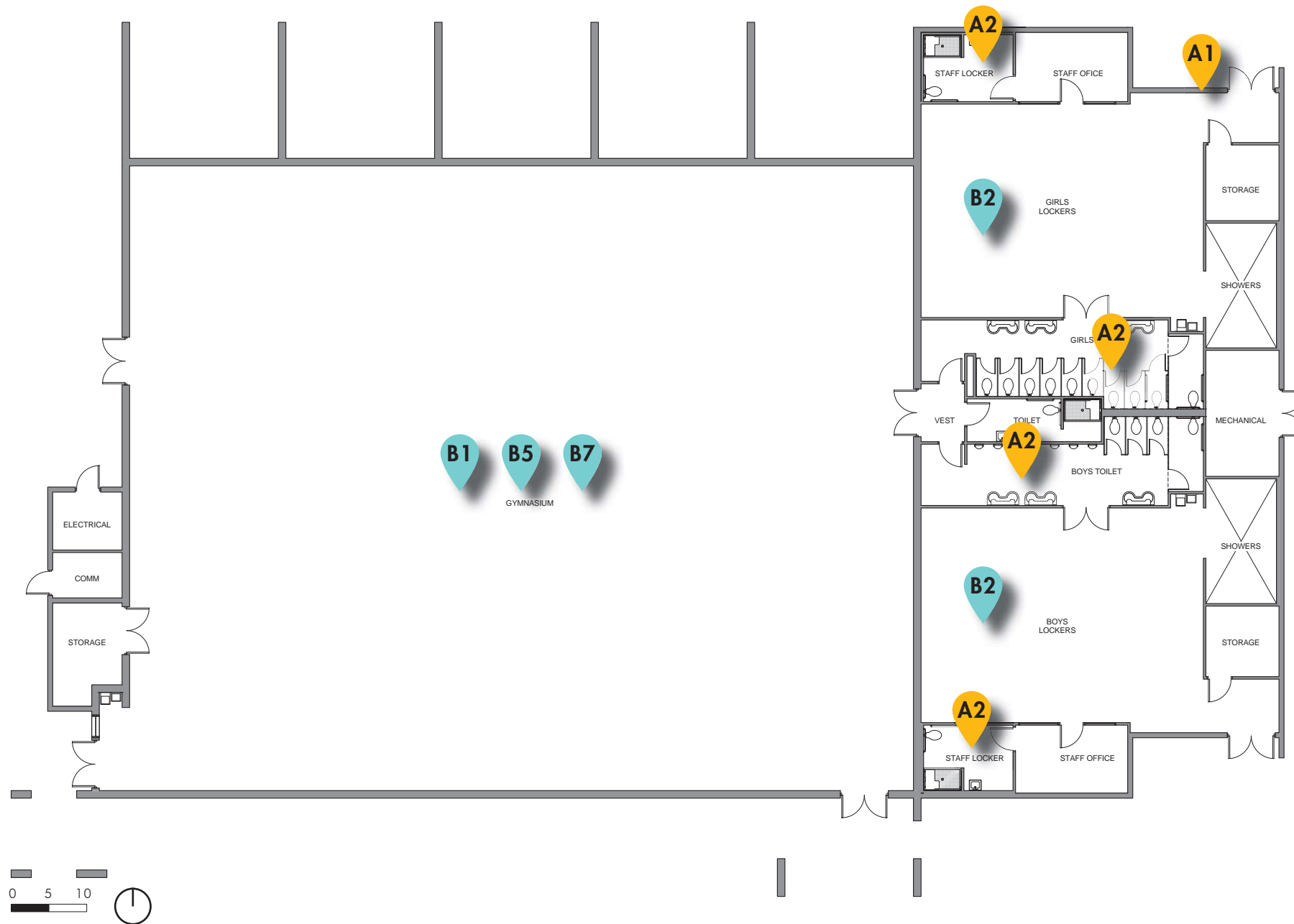
B. MAINTENANCE & OPERATIONS

- B1 Ceiling tiles in kitchen are stained
- B2 MPR room needs more lighting
- B3 Walls damaged at various locations

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EXISTING FLOOR PLAN: GYMNASIUM



A. HEALTH, SAFETY, AND ACCESS

- A1 Room signage not Title 24 compliant
- A2 Accessible Toilet accessories not Title 24 compliant

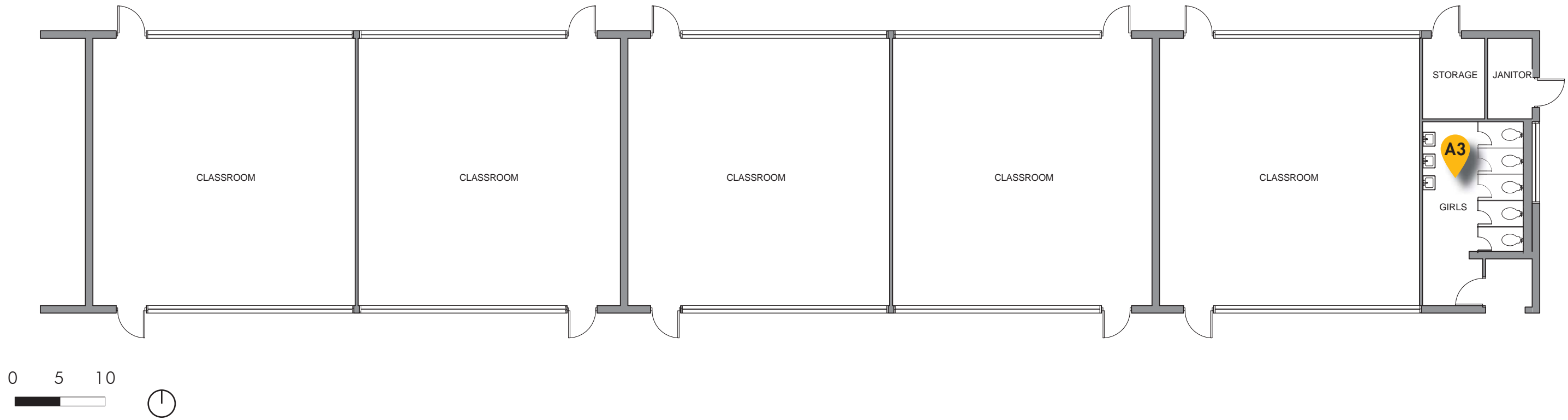
B. MAINTENANCE & OPERATIONS

- B1 Safety padding needs repair
- B2 Hard lid ceilings have cracks and need repair
- B3 Wall base is damaged at various locations
- B4 Exterior plaster is cracked and damaged
- B5 Ceiling has protruding nails
- B6 Empty planters around building
- B7 Score board does not have protective cage

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EXISTING FLOOR PLAN: CLASSROOMS



A. HEALTH, SAFETY, AND ACCESS

- A1 Electrical cords and wiring taped to floor
- A2 Signage not Title 24 compliant
- A3 Accessible toilet accessories not Title 24 compliant

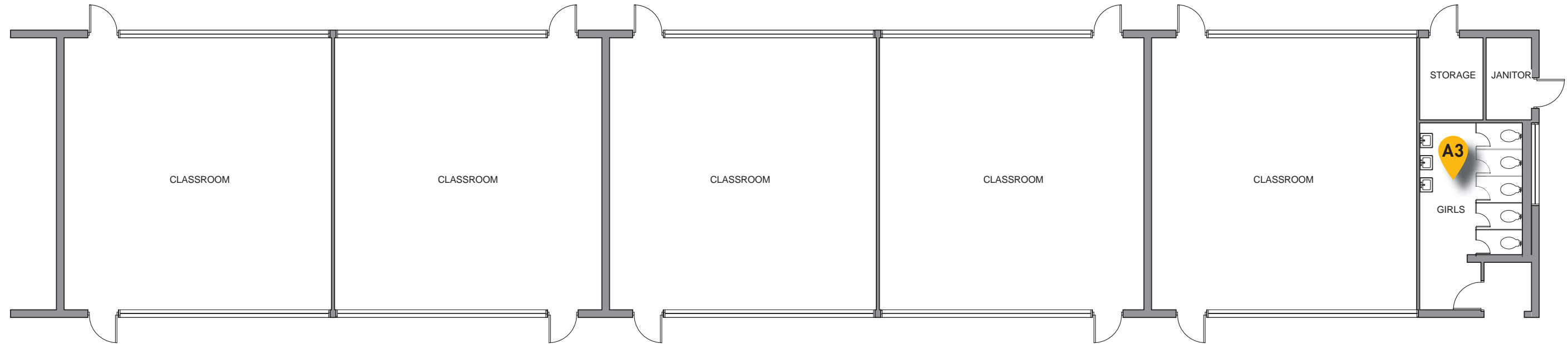
B. MAINTENANCE & OPERATIONS

- B1 Graffiti on exterior walls needs to be removed
- B2 VCT flooring is severely scratched from movement of chairs
- B3 Multiple ceiling tiles have water stains from roof leaking
- B4 Rubber base damaged in various locations

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EXISTING FLOOR PLAN: CLASSROOMS



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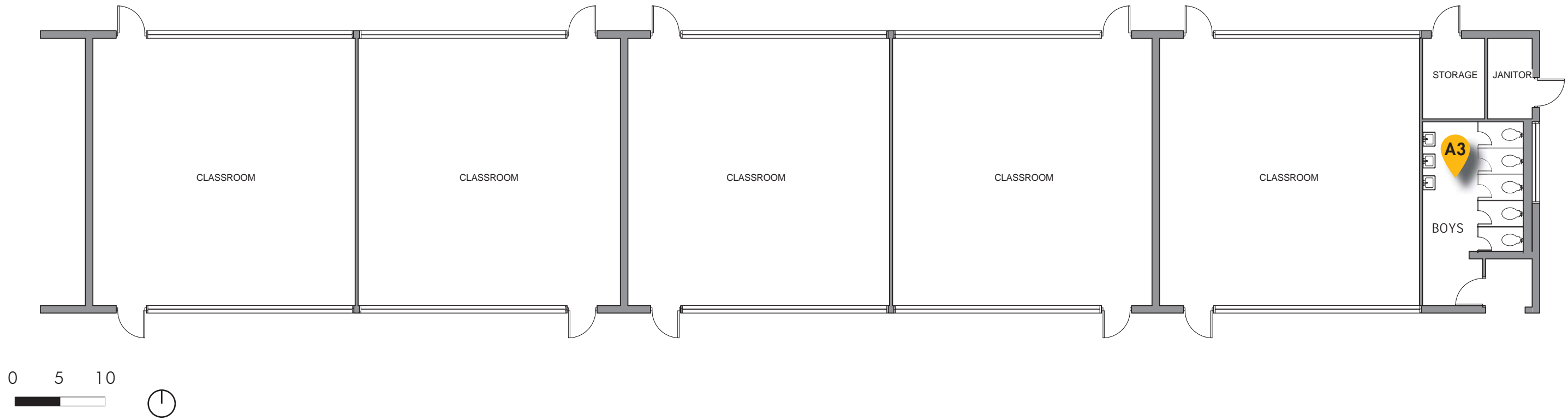
B. MAINTENANCE & OPERATIONS

- B1 Graffiti on exterior walls needs to be removed
- B2 VCT flooring is severely scratched from movement of chairs
- B3 Some ceiling tiles have water stains from above

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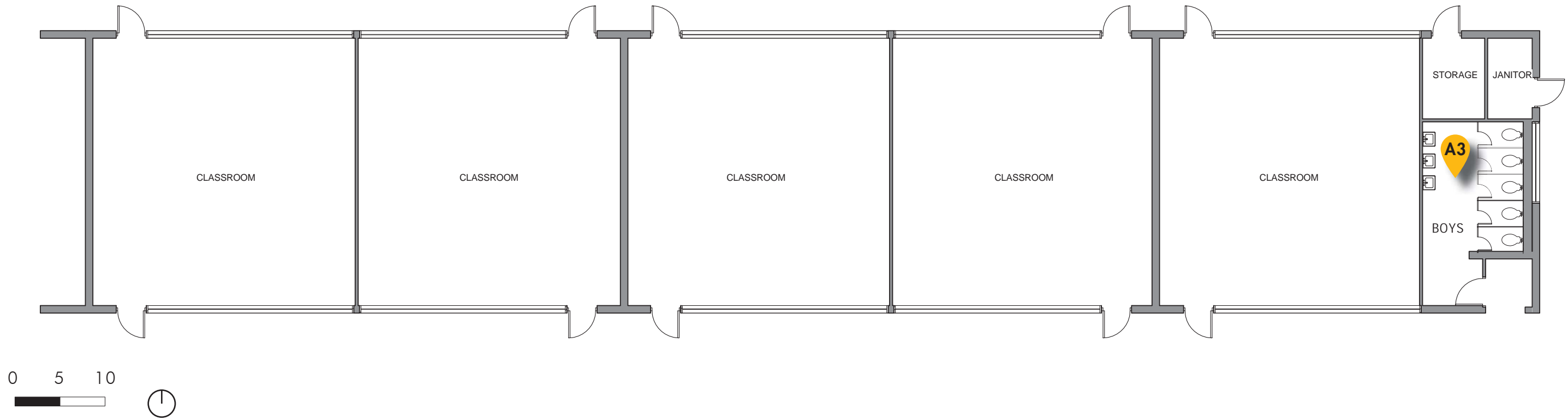
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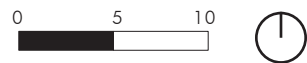
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EXISTING FLOOR PLAN: FITNESS CENTER



A. HEALTH, SAFETY, AND ACCESS

- A1 Building is not Title 24 compliant
- A2 Drinking fountain is not Title 24 compliant
- A3 Restroom is not title 24 compliant

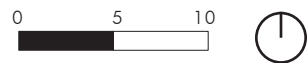
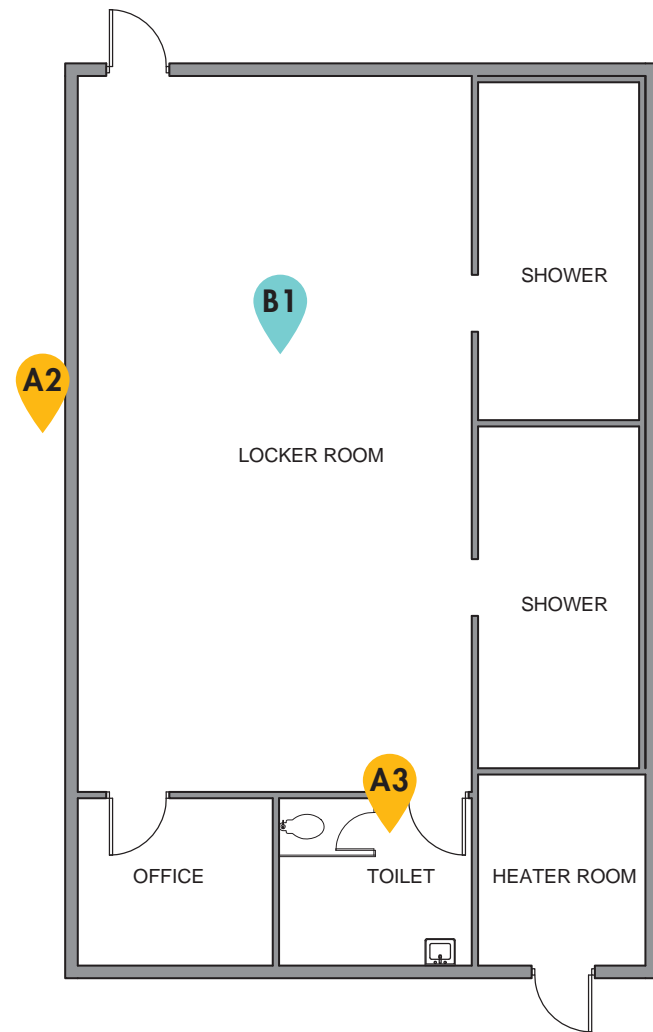
B. MAINTENANCE & OPERATIONS

- B1 Not enough lighting
- B2 Ceiling cracked and water stained
- B3 VCT flooring cracked and damaged
- B4 Paint is chipped and peeling
- B5 Fascia boards are warped

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EXISTING FLOOR PLAN: UNIFORM & BOOK STORAGE



A. HEALTH, SAFETY, AND ACCESS

- A1 Building is not Title 24 compliant
- A2 Drinking fountain is not Title 24 compliant
- A3 Restroom is not title 24 compliant
- A4 Exterior light fixture damaged

B. MAINTENANCE & OPERATIONS

- B1 Not enough lighting
- B2 Ceiling cracked and water stained
- B3 VCT flooring cracked and damaged
- B4 Paint is chipped and peeling
- B5 Fascia boards are warped

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EXISTING BUILDING CONDITIONS

A. HEALTH, SAFETY, AND ACCESS



Wiring is exposed and hanging on wall

There are electrical cords and various wiring hanging on the walls which can become a fire hazard.

Solution: Provide new wiremold to cover the wires or reroute to a safe location.



Drinking fountains are not Title 24 compliant

Drinking fountains do not comply with Title 24 requirements.

Solution: Provide drinking fountains that comply with Title 24 requirements.



Ceiling tiles in Kitchen are stained

Many ceiling tiles in the Kitchen are stained with grease.

Solution: Provide new ceiling tiles that can resist grease.



Holes in exterior plaster

Exterior plaster walls is damaged in various locations that can lead to water entering the building.

Solution: Patch up holes and cracks at exterior plaster walls.



Accessible toilet accessories are not Title 24 compliant

Many toilet accessories in accessible stalls are not compliant with Title 24 requirements.

Solution: Provide toilet accessories that comply with Title 24 requirements.



Accessible sinks missing pipe cover

Some accessible sinks are missing the pipe cover which covers the hot water pipe. This is also required per Title 24.

Solution: Provide pipe covers at accessible sinks where needed.

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EXISTING BUILDING CONDITIONS

A. HEALTH, SAFETY, AND ACCESS



Doors knobs not accessible

Some doors knobs are not accessible per Title 24 requirements.

Solution: Replace door knobs with door handles that comply with Title 24.



Wires are taped to floors

Some wiring is temporarily taped to the floor which can become a tripping and fire hazard.

Solution: Reroute wiring to come from ceiling with drop down poles or wiremold from the walls.



Accessible signage not Title 24 compliant

Signage does not comply with Title 24 requirements.

Solution: Replace with Title 24 compliant accessible signage.



Restrooms not accessible

Restrooms do not meet current Title 24 requirements

Solution: Remodel to meet current Title 24 requirements

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EXISTING BUILDING CONDITIONS

B. MAINTENANCE & OPERATIONS



Rubber base damaged

The rubber base at wall corners is damaged and needs to be repaired

Solution: Provide new rubber base at corners where damaged.



Ceiling cracks

Some of the hard lid ceilings have cracks.

Solution: Patch and repair cracks where needed.



Gym padding equipment torn

Some of the padding equipment in the gym has torn.

Solution: Repair torn padding equipment to prevent further damage.



Graffiti at exterior walls

There is graffiti on the exterior walls that need to be removed.

Solution: Remove graffiti.



VCT flooring cracked and damaged

VCT flooring is cracked and damaged in various locations.

Solution: Provide new VCT where needed.



Paint and fascia boards

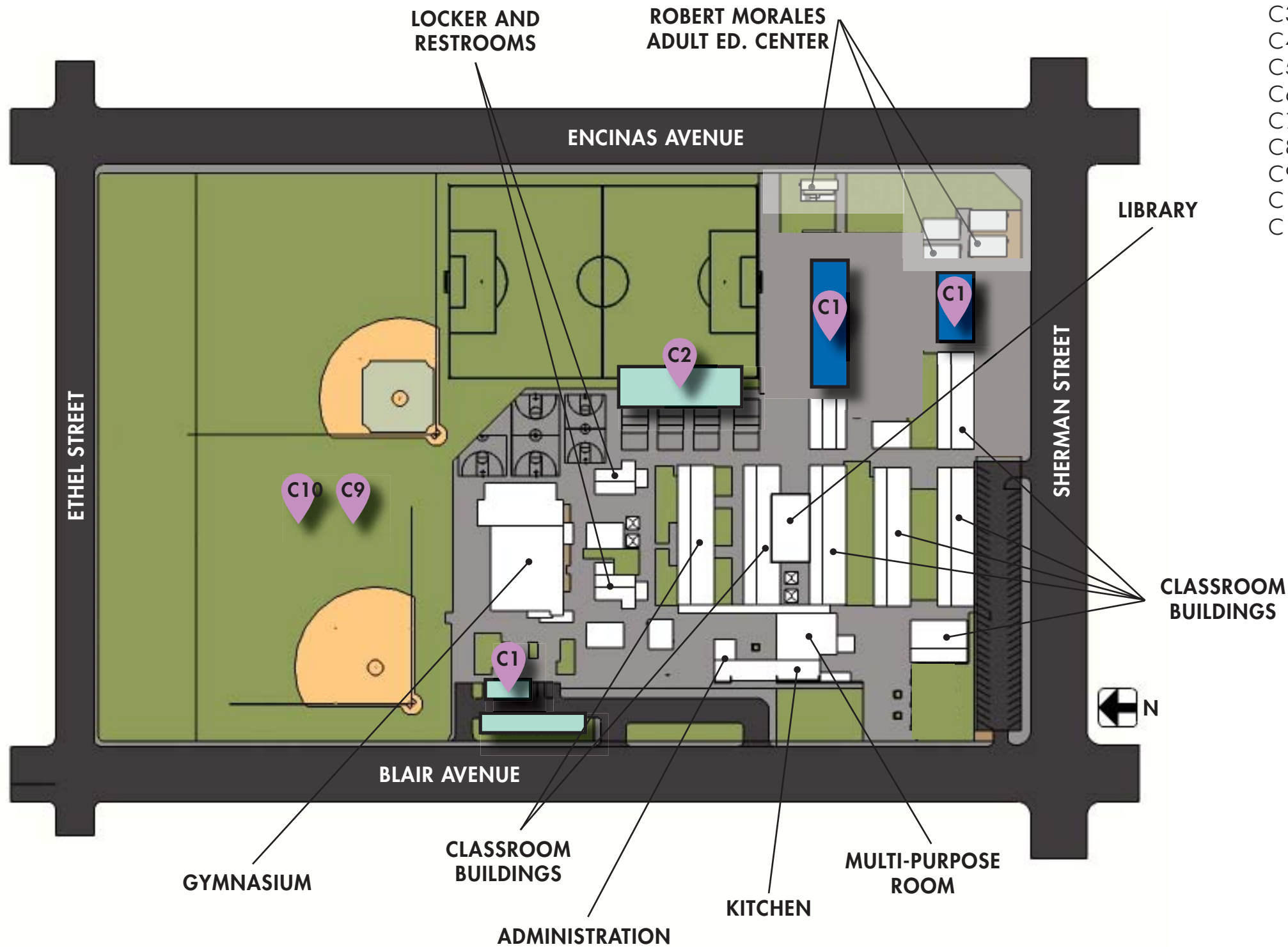
Paint is peeling and cracked throughout the campus. Many fascia boards are warped.

Solution: Paint buildings as needed and provide new fascia boards as needed.

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ENVISIONED SITE PLAN



C. TRANSFORMATION / EDUCATIONAL NEEDS

- C1 New classroom buildings
- C2 New solar panels
- C3 New shade structures
- C4 New chainlink fencing
- C5 New asphalt paving
- C6 New concrete paving
- C7 New roofs on permanent buildings
- C8 New sports netting
- C9 New backstops
- C10 Import soil, regrade and seed sports fields
- C11 New Title 24 compliant signage